



Wasco County Planning Department

"Service, Sustainability & Solutions"

2705 East Second St. • The Dalles, OR 97058
Phone: (541) 506-2560 • wcplanning@co.wasco.or.us
www.co.wasco.or.us/planning/planhome.html

File Number(s): _____

Fee: CUP

Receipt # _____

Ø
County Dept.

Associated M37 File # _____

Date Submitted: 1/15/11 Planner Initials: J Date complete: _____ Planners Initials: _____

Applicant/Owner Information: _____
Applicant(s) Wasco County Property Owner(s) Wasco County

Mailing Address 511 Washington Street, #101 Mailing Address _____
The Dalles, OR 97058

Phone (H) _____ (W) 541.506.2522 Phone (H) _____ (W) _____

Email scotth@co.wasco.or.us Email _____

Requested Structure(s)/Use(s): _____
No structures, infrastructure and underground utilities

Property Information

Map #	Tax Lot#	Acct #	Acreage	Zoning
4S 13E 5 400	400	14244	41.27	A-1 (160)

Property location: Tygh Valley, OR

Property Address: 81849 Fairground Road Tax Status: Exempt

Water Source: Well System w/ Treatment

Sewage: on-site septic system, drain field

Power: Wasco Electric COOP

Contiguous Ownership: _____

Legal Access: Fairground Road

Current Use of Property: County Fairgrounds Use of Adjacent Properties: Agriculture

Legal Parcel Status:
1st pre-Sept. 4, 1974 Deed No.,
Partition, or Subdivision

Date Filed

Current Deed No.

Date Filed

The deed, taxcard, and map showing the property described in the deed(s) must accompany this application.

Pre-Application Conference:
Per Section 2.050, a pre-application conference is required for a subdivision, planned unit development, conditional use, farm dwelling or site plan review for a home occupation outside the NSA.

Do you wish to waive the pre-application conference? Yes No
Planner: Conference Date: Conference Time:

Signatures:  Applicant(s) Date November 14, 2011

Date

Property Owner(s) Date

Date

Date

Date

Date

Date

PLEASE NOTE: Before this application will be processed, you **must** supply all the requested information including but not limited to a **site plan, elevation drawings** and responses to **all listed or referenced criteria** pursuant to the attached instructions. Pursuant to ORS 215.428 this office will review the application for completeness and notify the applicant of any deficiencies within 30 days of submission. By signing this form, the property owner or property owner's agent is granting permission for Planning Staff to conduct site inspections on the property.

**WASCO COUNTY
CONDITIONAL USE PERMIT APPLICATION**

DETAILED SPECIFIC WRITTEN REQUEST

Development of 20 fully served RV spaces to replace existing 'dry' spaces with no sewer access. Project is a net reduction of total spaces in the facility.

DETAILED STRUCTURAL INFORMATION

Proposed Improvements				
	Length	Width	Height	Square Footage
Dwelling				
Garage				
Shed				
Decks				
Fences/Gates				
Driveway				
Agricultural Bldg				
Lighting				
Other				
Existing Improvements				
Dwelling				
Garage				
Other				

1. The proposal is consistent with the goals and objectives of the Comprehensive Plan and implementing Ordinances of the County.
2. Taking into account location, size, design and operational characteristics of the proposed use, the proposal is compatible with the surrounding area and development of abutting properties by outright permitted uses.

Operational Characteristics, if applicable (days and hours of operation, number of average daily trips, etc.):

RV park will operate year around depending on the weather for the traveling public and county fair guests

Number of people (employees, students, congregation, clients) associated with the proposed use.

One employee manages the RV park operation, clients depends on use, us to 20 full service RV sports

Buildings, vehicles, equipment, and materials associated with the proposed use.

Project consists of infrastructure improvements, roads, utilities, hook-ups, etc.

3. The proposed use will not exceed or significantly burden public facilities and services available to the area, including, but not limited to: roads, fire and police protection, sewer and water facilities, telephone and electrical service, or solid waste disposal facilities.

Road: Development will actually reduce the total number of spaces in this area, but the spaces will provide a higher level of accommodation. There should be no increase demand on the use of the roads in this area.

Fire Protection: None

Police Protection: None

Sewer: Sewer system is onsite system, use is not expected to increase, but the flow dynamics will change with RVs connected to the system as opposed to using the existing dump station. Flow is expected to be less start and stop (as with dump station) and more gradual and uniform.

Water: Water use is not expected to increase significantly as water is currently provided, but no sewer connection . Use may increase slightly with the convenience of sewer connection.

Telephone: None

Electrical: None – electrical service currently provided

Solid waste disposal facilities: None

4. The proposed use will not unduly impair traffic flow or safety in the area.

The subject property has a road approach permit on file for the use? NO YES

How many trips per day will be generated by the proposed use? This will vary widely depending on the season. Most of the traffic is generated during a one week time of the year (August) during the Wasco County Fair.

5. The effects of noise, dust and odor will be minimized during all phases of development and operation for the protection of adjoining properties. Indicate how this will be done. Dust control practices will be employed during construction if and when needed. In operation, the project will provide clean graveled roads that will reduce the level of dust compared to existing conditions. Roads are watered during high use times such as fair.
-

6. The proposed use will not significantly reduce or impair sensitive wildlife habitat, riparian vegetation along streambanks and will not subject areas to excessive soil erosion. Check with ODFW if necessary. Development area is not in any sensitive areas or adjacent to stream banks, etc.
-

7. The proposed use will not adversely affect the air, water, or land resource quality of the area. Project will improve the existing facilities and will not adversely affect and of the elements listed above. It should provide moderate improvements to air quality (dust) and provide improvements to onsite wastewater system
-

8. The location and design of the site and structures for the proposed use will not significantly detract from the visual character of the area. This may be done through siting, new vegetation, colors, materials or other. Development is all infrastructure development with roads and in-ground utilities. There will be very little visual elements to see. The area will have a more organized and cleaner look than existing conditions.

9. The proposal will preserve areas of historic value, natural or cultural significance, including archaeological sites, or assets of particular interest to the community. There are no expected impacts on natural or cultural areas as the site is currently used as a 'dry' RV and camp site with water and electrical hook-ups.

10. The proposed use will not significantly increase the cost of accepted farm or forest practices on surrounding lands devoted to or available for farm and forest use. There will be no changes to farm or forest practices on surrounding lands.

11. The proposed use will not force a significant change in accepted farm or forest practices on surrounding lands devoted to or available for farm or forest use. No changes in accepted farm or forest practices.

Is proposed development site adjacent to agricultural uses? NO YES

If yes, what is distance and what type of agriculture? (grazing, orchards, grain, other) Some adjacent uses are agriculture currently including grazing and hay production. Other land is not in agriculture use.

Include any additional information that will assist the Planning Department in reviewing the application.

SHADED AREA TO BE COMPLETED BY PLANNING DEPARTMENT

Review Authority: Sections 2.060(A)(1) , 2.080, and 2.110(D) _____
Review Criteria: Chapter 3 _____
Chapter 5, Section(s) 5.020 and 5.030 _____
Other: _____

- Legal Parcel:** Property has been determined to be a legal parcel?
- Fire Safety:** A Fire Safety Self Certification Form has been submitted?
- Site Plan:** A site plan has been submitted that includes all required information (verify checklist on site plan sheet)?
- Elevation drawings:** An elevation drawing has been submitted that shows the sides and heights of all proposed buildings including surrounding final grades?

Zoning Overlays – Development Site is within the following Divisions:

- | | | |
|-----------------------------------------------|-----------------------------|------------------------------|
| 1. Flood Hazard: Specify Zone _____ | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| 2. Geological Hazards: | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| 4. Cultural, Historic and Archeological _____ | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| 5. Mineral & Aggregate | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| 7. Natural Areas _____ | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| 8. Sensitive Wildlife Habitat _____ | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| 12. Sensitive Bird Sites: | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| 13. Pond Turtle Sensitive Area: | <input type="checkbox"/> NO | <input type="checkbox"/> YES |
| Other: Specify _____ | | |

Easements – Are there any easements on the property (aerial or land based)? NO YES
If easement limits development, deed(s) shall be required which explain the easement.
Describe: _____

Water Resources

Are there water sources on property or adjacent properties? NO YES
If yes indicate resource type, location and required buffer.

Does proposed development meet required buffer? NO YES

Setbacks

Proposed development meets all property and agricultural setbacks? NO YES

Previous Map and Tax Lot #'s: _____

Past Actions: If yes, list review #(s) _____ NO YES
Is property still subject to conditions from previous review? NO YES
If yes, list review # and condition(s). _____

Access:

Property has a legal access from _____
Waiver of Remonstrance is required? NO YES
County or ODOT approach permit is required and has been obtained or initiated? NO YES

Address:

Address exists and has been verified to be correct? _____ NO YES
Address needs to be assigned after approval? NO YES

WASCO COUNTY PLANNING
AND DEVELOPMENT
John Roberts, Director
2705 East Second Street
The Dalles, Oregon 97058



Phone: (541) 506-2560
Fax: (541) 506-2561
Web Address: co.wasco.or.us

Fire Safety Standards Applicant's Self Certification Form

This checklist is provided to certify that the applicant has reviewed, understands, acknowledges, and commits to install and maintain improvements as required to comply with fire standards. Fire standards are listed in their entirety in **Chapter 10** of the Wasco County Land Use and Development Ordinance (WCLUDO) or **Chapter 11** of the Wasco County National Scenic Area Land Use and Development Ordinance (NSA LUDO).

Applicant's responses on the self certification form and the required site plan shall be recorded in county records (per **Section 10.510** of the WCLUDO or **Section 11.510** of the NSALUDO). Each of the applicable fire standards is listed below. Standards which begin with a 10 refer to the WCLUDO and standards which begin with an 11 refer to the NSALUDO. Please confirm compliance by marking the appropriate box, providing written comment if necessary, and initialing each response. Refer to the **Chapter 10** or **Chapter 11** for illustrations and further explanation of the standards. If compliance with applicable standards cannot be certified by the applicant, county planners will assist the applicant with the required modification process.

If one or more fire safety standard cannot be met, the applicant must request a modification to fire safety standards. The request for modification shall include a site specific fire safety mitigation plan. The modification of standards review shall be processed in accordance with the procedures in **Section 2.060(A)(6)** of the WCLUDO or **Section 2050(A)(3)** of the NSALUDO. Notice prior to the decision shall be provided to fire responders with jurisdiction by the Planning Director. The decision to approve or deny the request for modification shall meet all public notice requirements.

The applicant submitting the self certification form must be consistent with **Section 2.040** of the WCLUDO or **Section 2.060** of the NSALUDO.

WASCO COUNTY PLANNING
AND DEVELOPMENT
John Roberts, Director
2705 East Second Street
The Dalles, Oregon 97058



Phone: (541) 506-2560
Fax: (541) 506-2561
Web Address: co.wasco.or.us

FIRE SAFETY STANDARDS SELF CERTIFICATION FORM

FILE #

DATE:

REQUEST:

APPLICANT/OWNER INFORMATION:

Applicant(s) Wasco County

Property Owner(s)

Mailing Address 511 Washington St., #101
The Dalles, OR 97058

Mailing Address

Phone (H)

(W) 541.506.2522

Phone (H)

(W)

PROPERTY INFORMATION:

Township
4S

Range
13E

Section
5

Tax Lot No.
400

Acres
41.27

Acct.#
14244

Zoning
A-1 (160)

Address

81849 Fairground Road, Tygh Valley, OR

Location:

Tygh Valley, OR

STAFF REVIEWER:

10.110/11.110 - Please show approximate areas of steep slopes and proposed building locations relative to the slopes on the site plan. Information shall be sufficient to demonstrate the following:

A. You have identified site(s) for your building(s) that are not steeper than 40%.

Yes – Comment No structures

No – Initials _____ (See Attached Fire Safety Plan)

B(1). If your property is located in a Resource or Large Lot Residential Zone please show, on the site plan, that you have identified site(s) for your building(s) that are at least 50 feet back from the top of any slopes steeper than 30%;

Yes – Comment No structures

No – Initials _____ (See Attached Fire Safety Plan)

- or -

B(2). If your property is located in a Resource or Large Lot Residential Zone please show you have identified site(s) for your building(s) that are at least 30 feet back from the top of any slopes steeper than 30% on the site plan and certify that you will be implementing the structural techniques for increasing fire resistance discussed in 10.110(B)(2)/11.110(B)(2) of the ordinance.

Yes – Comment _____

No – Initials _____ (See Attached Fire Safety Plan)

10.120/11.120 – Please show building location(s) including a boundary for the 50 foot fire fuel break boundary on the site plan. Information shall be sufficient to demonstrate the following:

A. You have identified site(s) for the proposed building(s) that allow for a full 50 foot fire fuel break either on the parcel or by easement over the necessary portion of an adjoining parcel;

Yes – Comment No structures

No – Initials _____ (See Attached Fire Safety Plan)

-or-

B. Your property is located in an exception area or smaller lot residential zone and building(s) are located to accommodate a 30 foot fire fuel break where a full 50 foot fire fuel break cannot be provided for.

Yes – Comment _____

No – Initials _____ (See Attached Fire Safety Plan)

10.130/11.130 – Please provide the following information about construction details you will implement to increase the fire resistance of your proposed building(s):

A(1). Fire resistant roofing will be installed to the manufacturers' specifications. Please confirm the type of roofing and that the rating of the roof material by Underwriter's Laboratory Classification system is Class A, B, or its equivalent.

Yes – Comment No structures_____

A(2). Please verify that all spark arrestors will be installed to cap all chimneys and stove pipes. (The spark arrestors must meet NFPA standards)

Yes – Comment No fireplaces, no structures_____

B(1). Please verify the following for all decks:

- Decks will be kept clear of fire wood, flammable building material, dry leaves and needles, and other flammable chemicals.

Yes – Comment No decks_____

- Decks less than three feet above ground will be screened with noncombustible corrosion resistant mesh screening material with openings ¼" or less in size.

Yes – Comment No decks_____

- When required by standard **10.110(B)(2)/11.110(B)(2)** decks will be built of fire resistant material.

Yes – Comment No decks_____

- All flammables will be removed from the area immediately surrounding the structure to be stored 20' from the structure or enclosed in a separate structure during fire season.

Yes – Comment No structures_____

B(2). Please confirm that all openings into and under the exterior of the building including vents and louvers, will be screened with noncombustible corrosion resistant mesh screening material with openings of ¼" or less.

Yes – Comment __No structures_____

B(3).Please acknowledge that you will limb up all trees overhanging the building to 8' above the ground, as required by fire fuel break requirements, that vegetation will be trimmed back 10 feet away from any chimney or stove pipe, and that trees overhanging the building will be maintained free of all dead material.

Yes – Comment __No structures_____

B(4).Please verify that the utilities will:

- Be kept clear along their route if your private utility service lines are not underground

Yes – Comment __All utilities will be underground_____

- Have a single point of access to the building if service is not provided underground.

Yes – Comment __No structures_____

- Include a clearly marked main power disconnect switch at the pole or off grid power source for all electrical service to new buildings and structures. This has been located on the site plan.

Yes – Comment __No structures, there will be a shut off for electrical supply to the project_____

B(5).Please confirm that a stand pipe will be provided 50 feet from the dwelling and any structure served by a plumbed water system. This has been located on the site plan.

Yes – Comment __No structures_____

10.140/11.140 – Please confirm that access onto and through your property meets the following standards (Note: please show route, width, and alignment of access drives on the site plan):

A(1).Improved driving surface(s) will meet and be maintained to comply with driveway design standards.

Yes – Comment __Standards will be complied with_____

No – Initials _____ (See Attached Fire Safety Plan)

A(2).Widths of drive(s) will meet minimum requirements for the type of driveway.

Yes – Comment __Minimum widths will be met or exceeded_____

No – Initials _____ (See Attached Fire Safety Plan)

B(1). Corners will meet the minimum curve radius requirements for access drives.

Yes – Comment __ Curve radius' will allow for fire protection equipment – no structures _____

No – Initials _____ (See Attached Fire Safety Plan)

B(2). Slope or grade of the driveway will meet maximum grade requirements.

Yes – Comment __ Grade is almost flat _____

No – Initials _____ (See Attached Fire Safety Plan)

B(3). Turn outs will be provided as required.

Yes – Comment __ Required turnouts will be provided on grounds _____

No – Initials _____ (See Attached Fire Safety Plan)

C(1). Clearance will be established and maintained in accordance with driveway standards.

Yes – Comment __ Clearance will be provided and maintained _____

No – Initials _____ (See Attached Fire Safety Plan)

C(2). Fire fuel break will be established and maintained along both sides of the drive(s).

Yes – Comment __ Fire break will be provided – area is irrigated _____

No – Initials _____ (See Attached Fire Safety Plan)

D. Turn arounds will be provided and maintained at the end of drives longer than 150 feet.

Yes – Comment _____

No – Initials _____ (See Attached Fire Safety Plan)

E. Bridges and culverts will support 75,000 pound gross vehicle weight in accordance with driveway standards.

Yes – Comment __ No bridges or culverts in this project _____

No – Initials _____ (See Attached Fire Safety Plan)

F. Gates will provide a minimum clearance of 14 feet and will be operable by emergency responders in accordance with access standards.

Yes – Comment _____

G. Legible signs will be installed to identify parking limitations, fire lanes, on site water source, electrical service shut off, and any necessary posted weight limits. Signs will be maintained in accordance with requirements.

Yes – Comment _____

H. Roads leading to the property have been determined to meet driveway access standards other than width, turn radius, and slope;

Yes – Comment _____

No – Initials _____ (See Attached Fire Safety Plan)

-or-

The following improvements have been determined to be necessary:

All necessary improvements will be made and maintained to ensure basic access to the property.

Yes – Comment _____

No – Initials _____ (See Attached Fire Safety Plan)

10.150/11.150 – On site water requirements will be met in the following way:

A. The proposed dwelling will not exceed 3,500 square feet and will be located within a fire protection district.

Yes – Comment ___ No structure _____

No – Initials _____ (See Attached Description of Onsite water requirements)

-or-

B. The proposed dwelling will exceed 3,500 square feet or will be located outside a fire protection district (with demonstration that the parcel cannot be annexed into or contract for protection with a nearby district) and will be constructed with an interior sprinkler system that meets NFPA standards.

Yes – Comment _____

No – Initials _____ (See Attached Description of Onsite water requirements)

-or-

C. The proposed dwelling is a manufactured home or a historic structure and will substitute provision of an on site water source meeting on site water supply standards in lieu of an NFPA sprinkler system that would otherwise be required.

Yes – Comment _____

No – Initials _____ (See Attached Description of Onsite water requirements)

I/we acknowledge receipt of the full **Wasco County LUDO Chapter 10/NSALUDO Chapter 11 – Fire Safety Standards** text and illustrations applicable to the land use or building permit request at the time of application. I/we have reviewed and certify that the standards have been reviewed and understood. I/we further certify that: all responses to the above questions and improvement designs and locations shown on the accompanying site plan are true and accurate and that all planned future compliance will be achieved within one year and maintained in perpetuity.

Scott C. Hege, County Commissioner, November 14, 2011
Name, Title Date

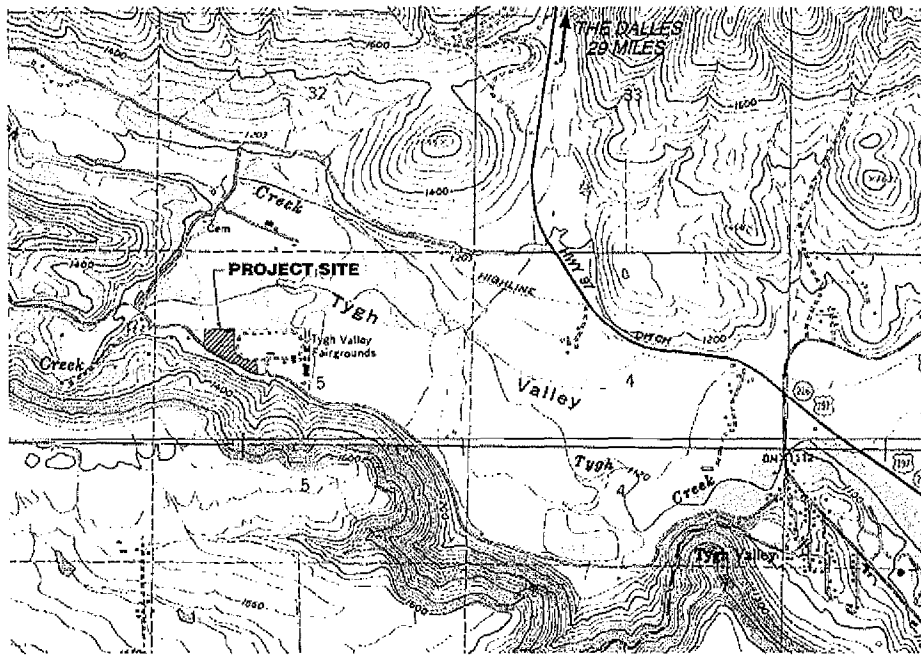
Name, Title Date

HUNT PARK REDEVELOPMENT PROJECT

FOR
WASCO COUNTY
TYGH VALLEY, WASCO COUNTY, OREGON
OCTOBER 2011

INDEX:

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- SHEET 2 EXISTING CONDITIONS
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- SHEET 9 UTILITY PLAN
- SHEET 10 WATER/IRRIGATION PLAN
- SHEET 11 SAN. SEWER & STORM PLAN
- SHEET 12 NOTES
- SHEET 13 DETAILS
- SHEET 14 DETAILS
- SHEET 15 DETAILS
- SHEET 16 DETAILS



VICINITY MAP

OWNER:

WASCO COUNTY
511 WASHINGTON ST. SUITE 101
THE DALLES, OR 97058
PH: 541-506-2552
TYLER STONE, EAS DIRECTOR
FRED DAVIS, FACILITY MANAGER

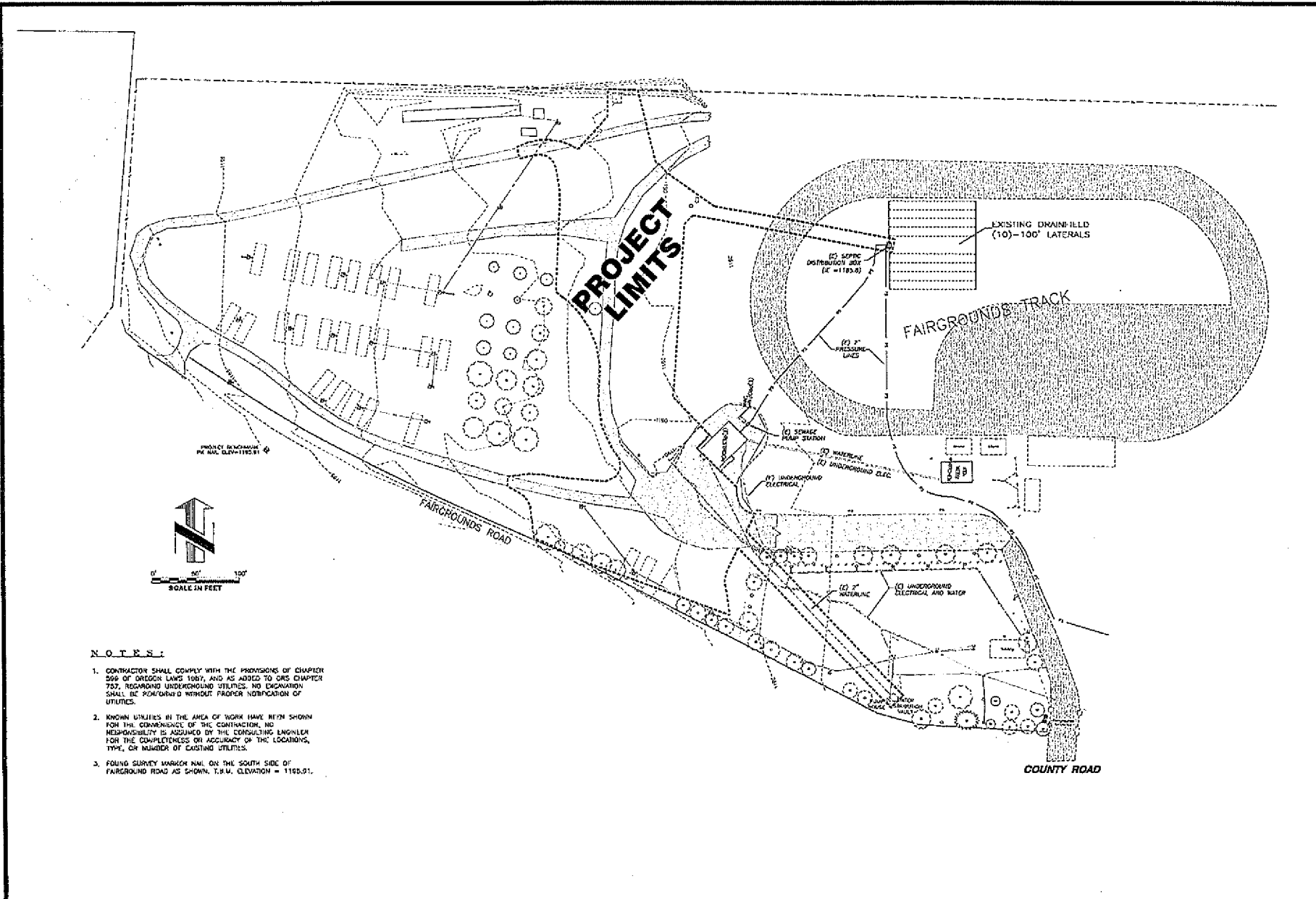
ENGINEER:

TENNESON ENGINEERING CORP.
3313 WEST SECOND STREET, SUITE 100
THE DALLES, OR. 97058
PH. 541-296-9177
FAX 541-296-6657
DARRIN ECKMAN (Project Manager)
KEVIN CHRISMAN (Project Engineer)

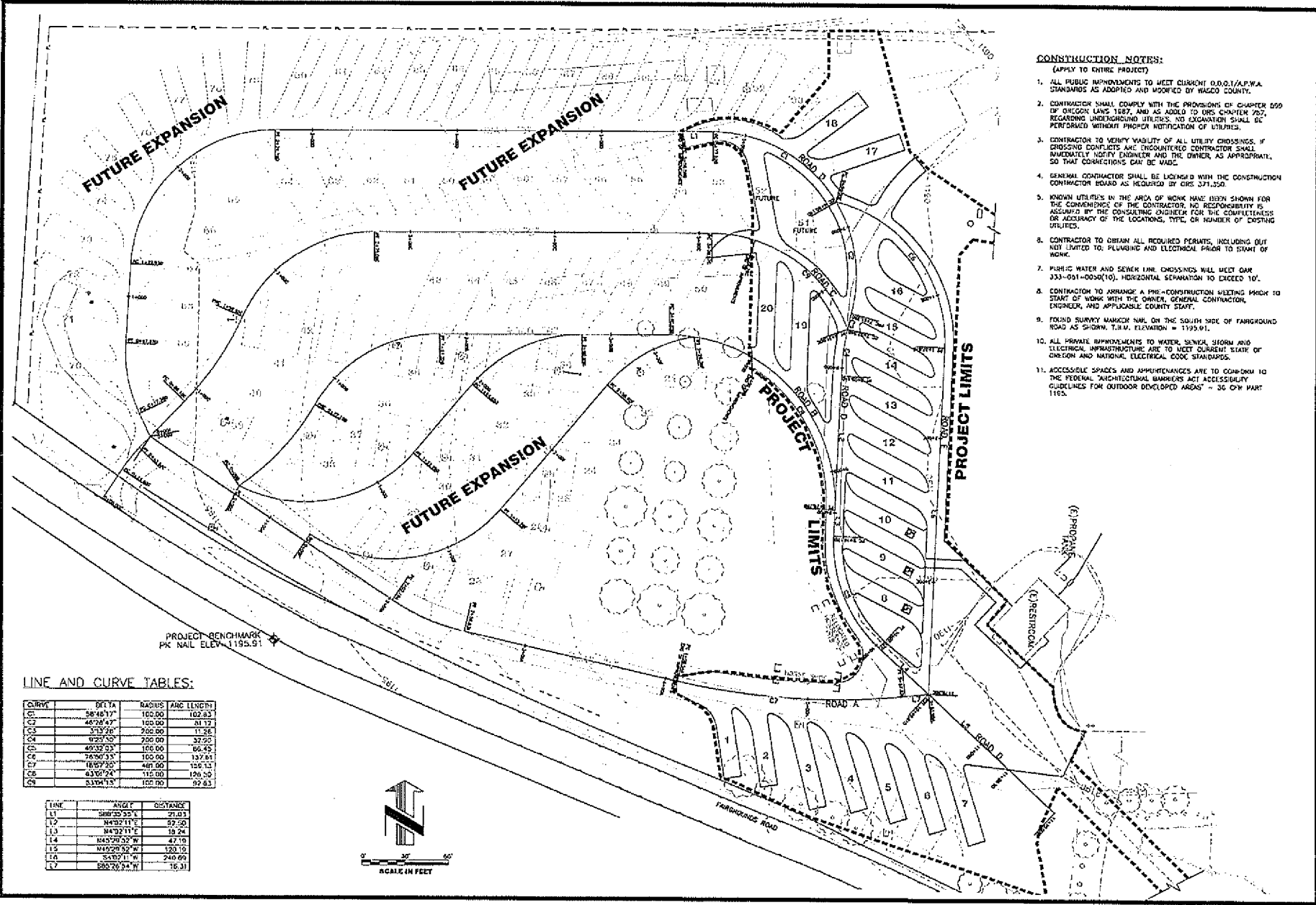
AGENCY REVIEW

SET No. _____

COVER SHEET WASCO COUNTY HUNT PARK REDEVELOPMENT PROJECT T.C.C.	Date: 10/24/2011 Drawn: T.C.C. Scale: 1"=100' Project No.: 13151
TENNESON ENGINEERING CORP. CONSULTING ENGINEERS 3313 W. 2ND STREET, SUITE 100 THE DALLES, OREGON 97058 PH. 541-296-9177 FAX 541-296-6657 WWW.TENNESONENGINEERING.COM	FOR REVIEW AND BIDDING ONLY PROJECT NO. 13151 SHEET NO. 1 OF 16 REVISION DATE: 10/24/11
COVER SHEET 1 16	Work Order No. 13151



Project No.	Survey
DATE	DATE
10/24/2011	10/24/2011
WORK ORDER NO.	SCALE
13151	1:3151
EXISTING CONDITIONS FOR WASCO COUNTY HUNT PARK REDEVELOPMENT PROJECT <small>TRAIL VALLEY, OREGON</small>	
TEWESON ENGINEERING CORP. <small>CONSULTING ENGINEERS</small> 3313 W. 2ND STREET, SUITE 100 TRIC VALLEY, OREGON 97038 PH. 541-295-8177 FAX 541-295-6657 <small>MAP DATE: 10/24/2011</small>	
FOR REVIEW AND BIDDING ONLY	
<small>REVISION DATE: 03/21/11</small>	
EXISTING	
SHEET 2 16	
Work Order No. 13151	



CONSTRUCTION NOTES:
(APPLY TO ENTIRE PROJECT)

1. ALL PUBLIC IMPROVEMENTS TO MEET CURRENT O.D.G./A.P.W.A. STANDARDS AS ADOPTED AND MODIFIED BY WASCO COUNTY.
2. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 500 OF OREGON LAWS 1987, AND AS ADDED TO ORS CHAPTER 707, REGARDING UNDERGROUND UTILITIES. NO EXCAVATION SHALL BE PERFORMED WITHOUT PROPER NOTIFICATION OF UTILITIES.
3. CONTRACTOR TO VERIFY VALIDITY OF ALL UTILITY CROSSINGS. IF CROSSING CONFLICTS ARE ENCOUNTERED CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AND THE OWNER, AS APPROPRIATE, SO THAT CORRECTIONS CAN BE MADE.
4. GENERAL CONTRACTOR SHALL BE FAMILIAR WITH THE CONSTRUCTION CONTRACTOR BOARD AS REQUIRED BY ORS 371.350.
5. KNOWN UTILITIES IN THE AREA OF WORK HAVE BEEN SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. NO RESPONSIBILITY IS ASSUMED BY THE CONSULTING ENGINEER FOR THE COMPLETENESS OR ACCURACY OF THE LOCATIONS, TYPE OR NUMBER OF EXISTING UTILITIES.
6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO: PLUMBING AND ELECTRICAL PRIOR TO START OF WORK.
7. PUBLIC WATER AND SEWER LINE CROSSINGS WILL MEET OR EXCEED 333-091-0030(10). HORIZONTAL SEPARATION TO EXCEED 10'.
8. CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING PRIOR TO START OF WORK WITH THE OWNER, GENERAL CONTRACTOR, ENGINEER, AND APPLICABLE COUNTY STAFF.
9. FOUND SURVEY MARKER NAIL ON THE SOUTH SIDE OF FAIRGROUND ROAD AS SHOWN. T.B.M. ELEVATION = 1195.91.
10. ALL PRIVATE IMPROVEMENTS TO WATER, SEWER, STORM AND ELECTRICAL INFRASTRUCTURE ARE TO MEET CURRENT STATE OF OREGON AND NATIONAL, ELECTRICAL, CODE STANDARDS.
11. ACCESSIBLE SPACES AND AMPLIFICATIONS ARE TO CONFORM TO THE FEDERAL ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES FOR OUTDOOR DEVELOPED AREAS - 36 C.F.R. PART 1195.

LINE AND CURVE TABLES:

CURVE	DELTA	RADIUS	ARC LENGTH
C1	58°46'17"	102.00	102.03
C2	48°28'47"	100.00	81.17
C3	37°13'28"	260.00	11.28
C4	123°55'01"	700.00	27.00
C5	49°32'53"	100.00	86.45
C6	76°56'33"	100.00	137.61
C7	108°57'25"	440.00	158.13
C8	63°07'24"	110.00	106.50
C9	53°04'13"	100.00	99.63

LINE	ANGLE	DISTANCE
L1	S80°30'52" E	31.03
L2	N4°30'11" E	57.50
L3	N4°32'11" E	19.24
L4	N45°50'52" W	47.10
L5	N105°20'52" W	120.10
L6	S45°07'11" W	240.00
L7	S85°20'54" W	16.31



SITE LAYOUT
FOR
WASCO COUNTY
HUNT PARK
REDEVELOPMENT PROJECT

T.C. VALLEY, OREGON

TENNESON ENGINEERING CORP.
CONSULTING ENGINEERS
3313 W. 2ND STREET, SUITE 100
THE DALLES, OREGON 97058
PH 541-298-9177 FAX 541-298-6657

FOR REVIEW AND BIDDING ONLY



LAYOUT

SHEET
3 16

Work Order No.
13151

GRADING NOTES:

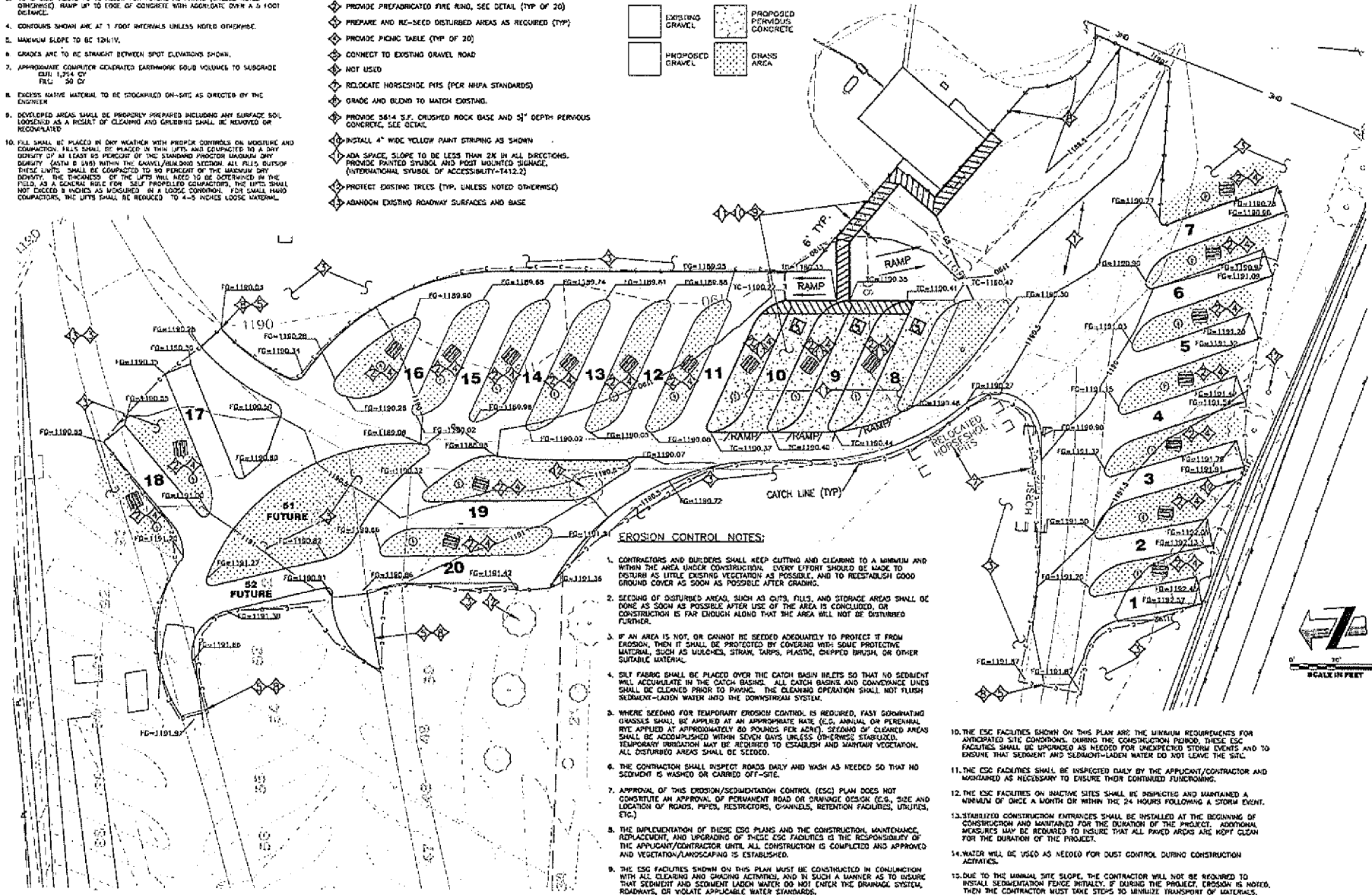
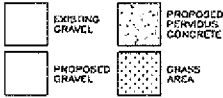
1. TO = TOP OF CONCRETE
2. F3 = FINISH GRADE
3. TO 0.25' ABOVE F3 TO ALLOW FOR FUTURE AC FINISH (UNLESS NOTED OTHERWISE) RAMP UP TO EDGE OF CONCRETE WITH AGGREGATE OVER A 1' FOOT DISTANCE.
4. CONTOURS SHOWN ARE AT 1' FOOT INTERVALS UNLESS NOTED OTHERWISE.
5. MAXIMUM SLOPE TO BE 12% IV.
6. GRADES ARE TO BE STRAIGHT BETWEEN SPOT ELEVATIONS SHOWN.
7. APPROXIMATE COMPUTER GENERATED EARTHWORK VOLUMES TO SUBGRADE:
 - CUT: 1,254 CY
 - FILL: 50 CY
8. EXCESS NATIVE MATERIAL TO BE STOCKPILED ON-SITE AS DIRECTED BY THE ENGINEER.
9. DEVELOPED AREAS SHALL BE PROPERLY PREPARED INCLUDING ANY SURFACE SOIL LOSSDUES AS A RESULT OF CLEARING AND GRUBBING SHALL BE REMOVED OR RECYCLED.

10. FILL SHALL BE PLACED IN DRY WEATHER WITH PROPER CONTROLS ON MOISTURE AND COMPACTION. LIFTS SHALL BE PLACED IN THIN LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 155) WITHIN THE GRAVEL/SUBGRADE SYSTEM. ALL FILLS OUTSIDE THESE LIMITS SHALL BE COMPACTED TO 90 PERCENT OF THE MAXIMUM DRY DENSITY. THE THICKNESS OF THE LIFTS WILL NEED TO BE DETERMINED IN THE FIELD AS A GENERAL RULE FOR SELF PROPELLED COMPACTORS, THE LIFTS SHALL NOT EXCEED 8 INCHES AS REQUIRED IN A LOOSE CONDITION. FOR SMALL HAND COMPACTORS, THE LIFTS SHALL BE REDUCED TO 4-5 INCHES LOOSE MATERIAL.

SURFACING KEY NOTES:

- ◆ PROVIDE 4" 5/8" S.F. CRUSHED ROCK BASE AND SURFACING, SEE DETAIL.
- ◆ PROVIDE PREFABRICATED FINE RIND, SEE DETAIL (TYP OF 20)
- ◆ PREPARE AND RE-SEED DISTURBED AREAS AS REQUIRED (TYP)
- ◆ PROVIDE PICKING TABLE (TYP OF 20)
- ◆ CONNECT TO EXISTING GRAVEL ROAD
- ◆ NOT USED
- ◆ RELOCATE HORSESHOE PITS (PER MHPA STANDARDS)
- ◆ GRADE AND BLDG TO MATCH EXISTING.
- ◆ PROVIDE 24" 4 S.F. CRUSHED ROCK BASE AND 5" DEPTH PERVIOUS CONCRETE, SEE DETAIL.
- ◆ INSTALL 4" WIDE YELLOW PAINT STRIPING AS SHOWN
- ◆ ADA SPACE, SLOPE TO BE LESS THAN 2% IN ALL DIRECTIONS. PROVIDE PAINTED SYMBOL AND POST MOUNTED SIGNAGE. (INTERNATIONAL SYMBOL OF ACCESSIBILITY-T412.2)
- ◆ PROTECT EXISTING TREES (TYP, UNLESS NOTED OTHERWISE)
- ◆ ABANDON EXISTING ROADWAY SURFACES AND BASE

HATCH LEGEND:



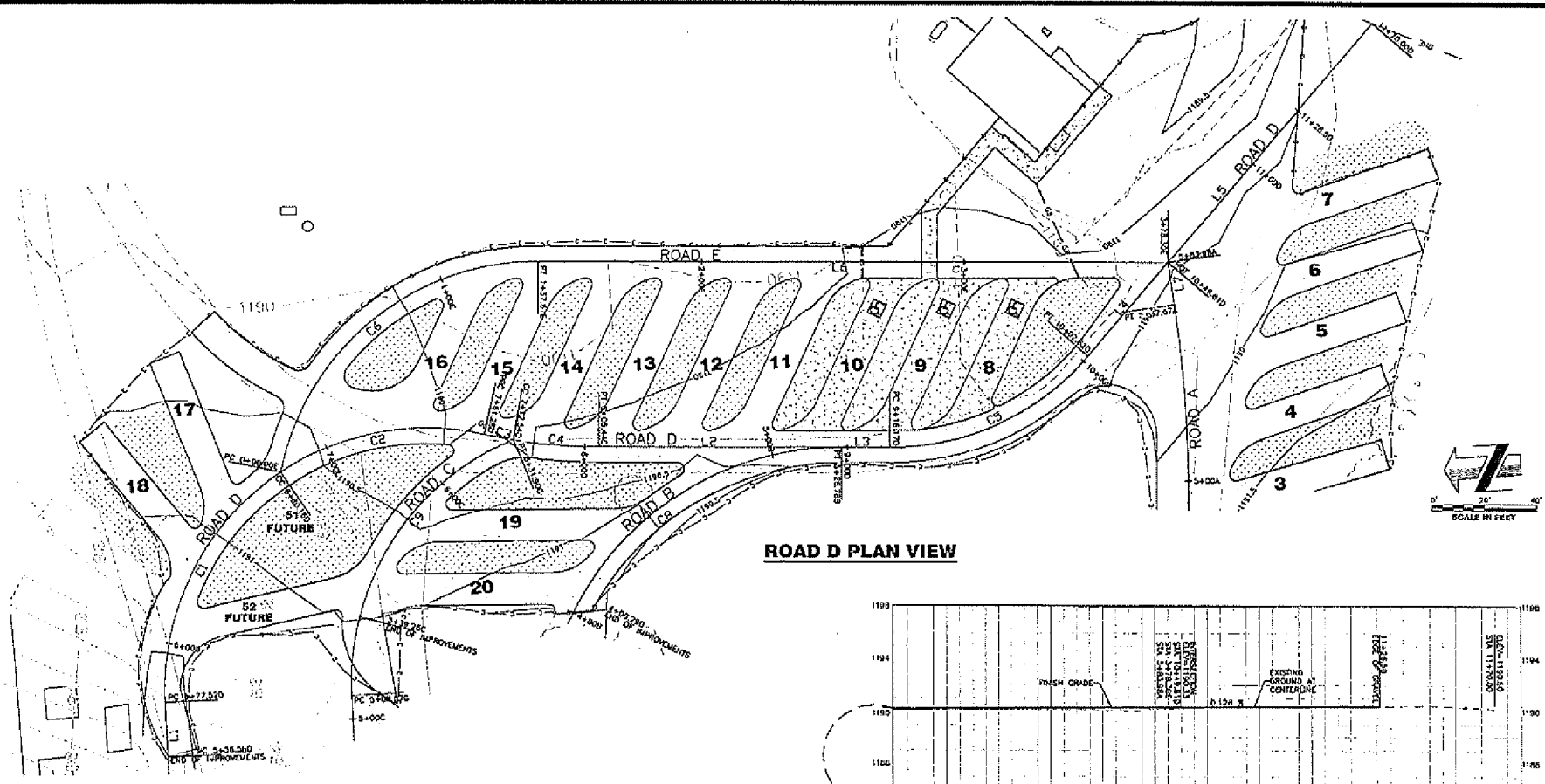
EROSION CONTROL NOTES:

1. CONTRACTORS AND SUBSIDIARIES SHALL KEEP CUTTING AND CLEARING TO A MINIMUM AND WITHIN THE AREA UNDER CONSTRUCTION. EVERY EFFORT SHOULD BE MADE TO MAINTAIN AS MUCH EXISTING VEGETATION AS POSSIBLE, AND TO REESTABLISH GOOD GROUND COVER AS SOON AS POSSIBLE AFTER GRADING.
2. SEEDING OF DISTURBED AREAS, SUCH AS CUTS, FILLS, AND STORAGE AREAS SHALL BE DONE AS SOON AS POSSIBLE AFTER USE OF THE AREA IS CONCLUDED, OR CONSTRUCTION IS FAR ENOUGH ALONG THAT THE AREA WILL NOT BE DISTURBED FURTHER.
3. IF AN AREA IS NOT, OR CANNOT BE SEEDING ADEQUATELY TO PROTECT IT FROM EROSION, THEN IT SHALL BE PROTECTED BY COVERING WITH SOME PROTECTIVE MATERIAL, SUCH AS MULCHES, STRAW, MATS, PLASTIC, CHIPPED BRUSH, OR OTHER SUITABLE MATERIAL.
4. SILT FABRIC SHALL BE PLACED OVER THE CATCH BASIN INLETS SO THAT NO SEDIMENT WILL ACCUMULATE IN THE CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE UNITS SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LOADED WATER INTO THE DOWNSCREEN SYSTEM.
5. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (E.G. ANNUAL OR PERENNIAL WHE AT APPROXIMATELY 80 POUNDS PER ACRE). SEEDING OF CLEARED AREAS SHALL BE ACCOMPANIED WITH SEVEN DAYS UNLESS OTHERWISE STABILIZED. TEMPORARY URINATION MAY BE REQUIRED TO ESTABLISH AND MAINTAIN VEGETATION. ALL DISTURBED AREAS SHALL BE SEEDING.
6. THE CONTRACTOR SHALL INSPECT ROADS DAILY AND WASH AS NEEDED SO THAT NO SEDIMENT IS WASHED OR CARRIED OFF-SITE.
7. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UNLINES, ETC.)
8. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND IMPROVEMENT OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
9. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT-LOADED WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.

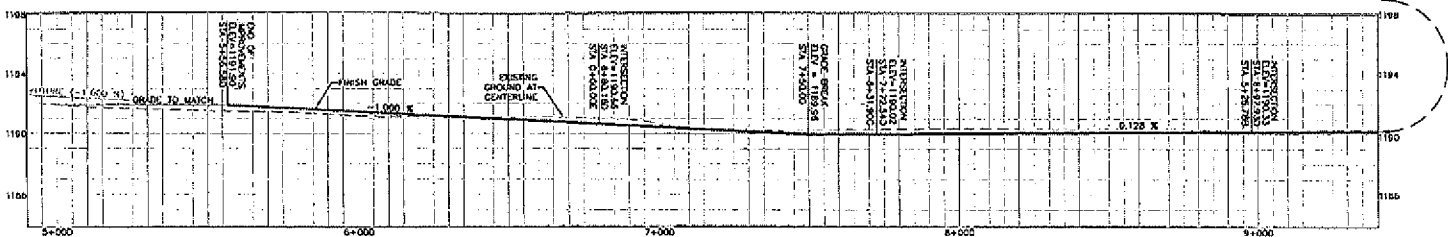
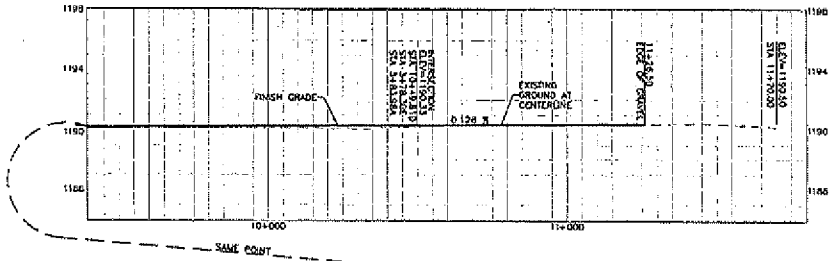
10. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LOADED WATER DO NOT LEAVE THE SITE.
11. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
12. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
13. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
14. WATER WILL BE USED AS NEEDED FOR DUST CONTROL DURING CONSTRUCTION ACTIVITIES.
15. DUE TO THE UNRAIL SITE SLOPE, THE CONTRACTOR WILL NOT BE REQUIRED TO INSTALL SEDIMENTATION FENCE INSTANTLY. IF DURING THE PROJECT, EROSION IS NOTED, THEN THE CONTRACTOR MUST TAKE STEPS TO MINIMIZE TRANSPORT OF MATERIALS.



<p>TENNESSEE ENGINEERING CORP. CONSULTING ENGINEERS 3313 W. 2ND STREET, SUITE 100 THE DALLES, OREGON 97038 PH: 541-296-9177 FAX: 541-296-6657</p>	<p>DATE: 10/24/2011 DRAWN: T.C.C. SCALE: AS SHOWN</p>
	<p>PROJECT: SURFACING/LANDSCAPING FOR WASCOCO COUNTY HUNT PARK REDEVELOPMENT PROJECT</p>
<p>FOR REVIEW AND BIDDING ONLY</p>	<p>SCALE IN FEET 0 10 20</p>
<p>SURFACING</p>	<p>REVISION DATE: 11/25/11</p>
<p>SHEET 4 OF 16</p>	<p>WORK ORDER NO. 13151</p>



ROAD D PLAN VIEW



ROAD D PROFILE SCALE: 1" = 20' H.
1" = 4' V.

FOR CURVE AND LINE TABLE SEE SHEET 3

DATE	10/24/2011
SCALE	1" = 20' H. 1" = 4' V.
PROJECT NO.	13151
DATE	10/24/2011
SCALE	1" = 20' H. 1" = 4' V.
PROJECT NO.	13151

ROAD D FOR WASCO COUNTY HUNT PARK REDEVELOPMENT PROJECT
TOWN VALLEY, OREGON

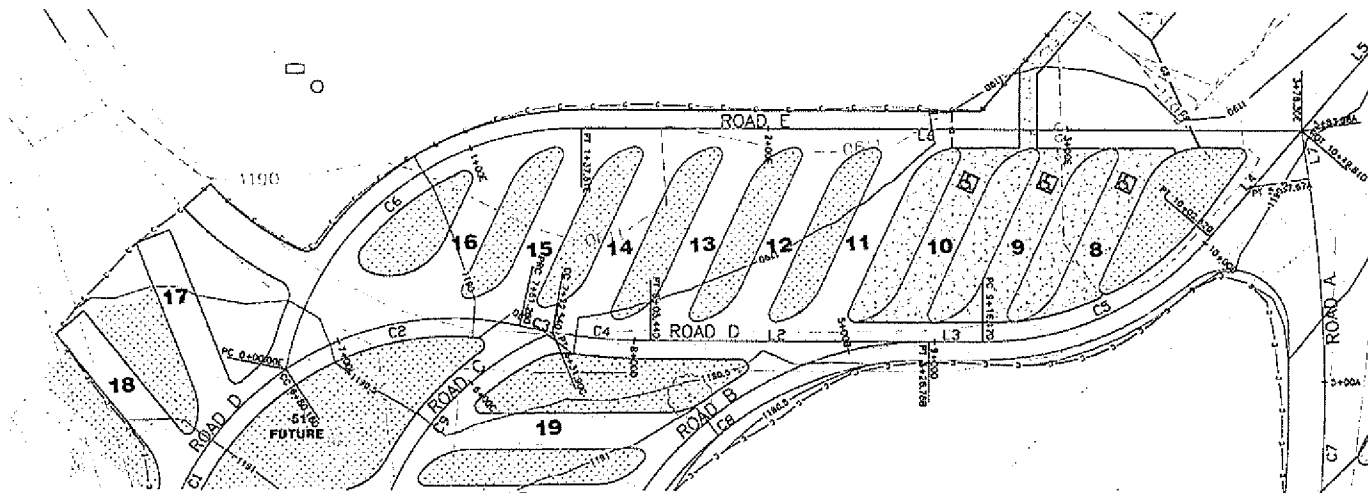
TENNESON ENGINEERING CORP.
CONSULTING ENGINEERS
3333 W. 2ND STREET, SUITE 100
THE DALLES, OREGON 97058
PH. 541-295-9177 FAX 541-295-6657

FOR REVIEW AND BIDDING ONLY

REGISTERED PROFESSIONAL ENGINEER
STATE OF OREGON
EXPIRES 12/31/11

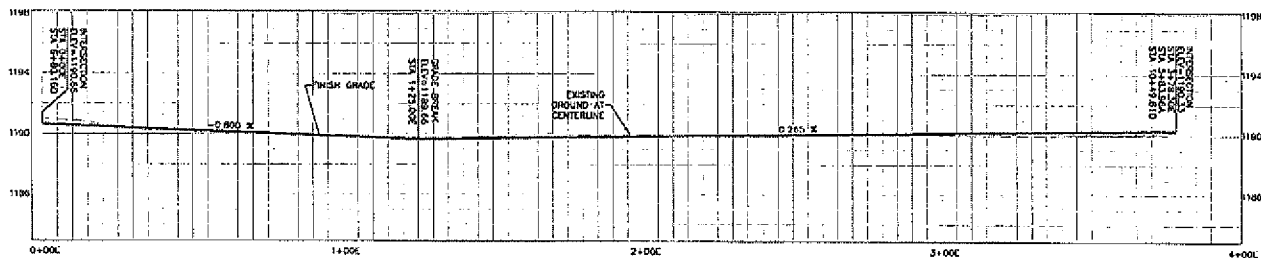
ROAD D
SHEET **5 16**

Work Order No. 13151



FOR CURVE AND LINE TABLE SEE SHEET 3

ROAD E PLAN VIEW

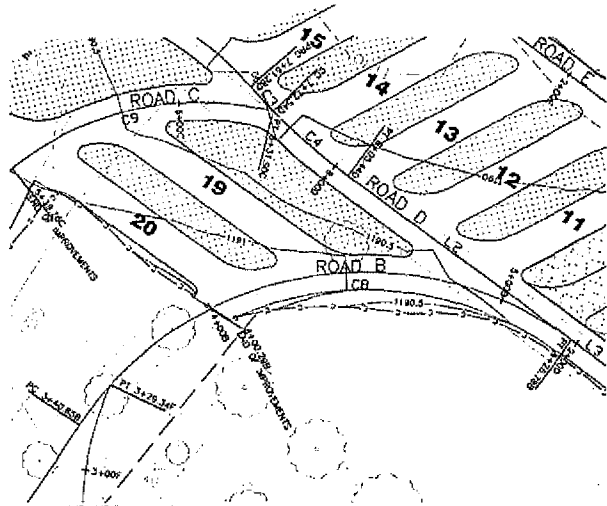


ROAD E PROFILE

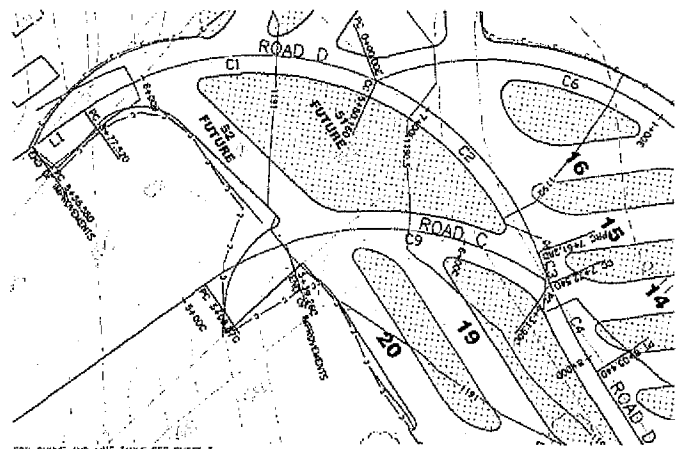
SCALE: 1" = 20' H.
1" = 4' V.



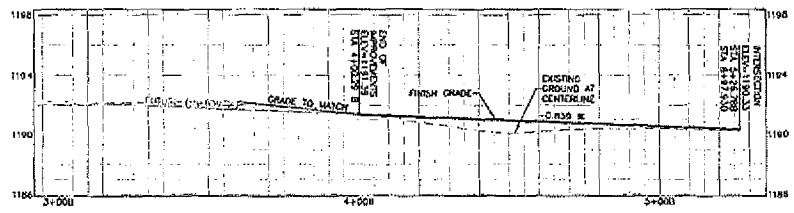
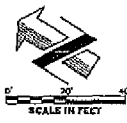
<p>TENNESSEE ENGINEERING CORP. CONSULTING ENGINEERS 3313 N. 2ND STREET, SUITE 100 THE DALLES, OREGON 97058 PH. 541-296-9177 FAX 541-296-6657 WWW.TENNESSEEENGINEERINGCORP.COM</p>	<p>ROAD E FOR WASCO COUNTY HUNT PARK REDEVELOPMENT PROJECT TOWN VALLEY, OREGON</p>
<p>FOR REVIEW AND BIDDING ONLY</p>	<p>DATE: 10/24/2011 DRAWN BY: T.E.C. CHECKED BY: S.M.P. SCALE: 3/16"</p>
<p>REGISTERED PROFESSIONAL ENGINEER NO. 31,436 OREGON TENNIS & COMPANY RENEW DATE: 12/31/11</p>	<p>ROAD E</p>
<p>SHEET 6 16</p>	<p>Work Order No. 13151</p>



ROAD B PLAN VIEW

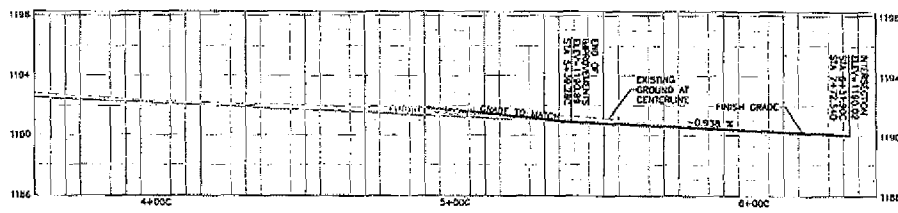


ROAD C PLAN VIEW



ROAD B PROFILE

SCALE: 1" = 20' H.
1" = 4' V.

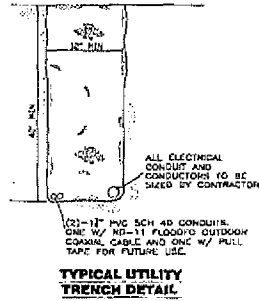


ROAD C PROFILE

SCALE: 1" = 20' H.
1" = 4' V.

Drawn	Checked	Scale
10/24/2011	1:51:51	3/8" = 1'
<p>ROADS B AND C WASCO COUNTY HUNT PARK REDEVELOPMENT PROJECT</p>		
<p>TENNESON ENGINEERING CORP. CONSULTING ENGINEERS 3313 N. 2ND STREET, SUITE 100 THE DALLES, OREGON 97008 PH 541-298-9177 FAX 541-298-6857 FOR THE WORKING ENGINEER</p>		
<p>FOR REVIEW AND BIDDING ONLY</p>		
<p>REGISTERED PROFESSIONAL ENGINEER OREGON DATE: 12/15/09 EXPIRES: 12/31/15</p>		
<p>ROAD B & C</p>		
<p>SHEET 8 16</p>		
<p>Work Order No. 15151</p>		

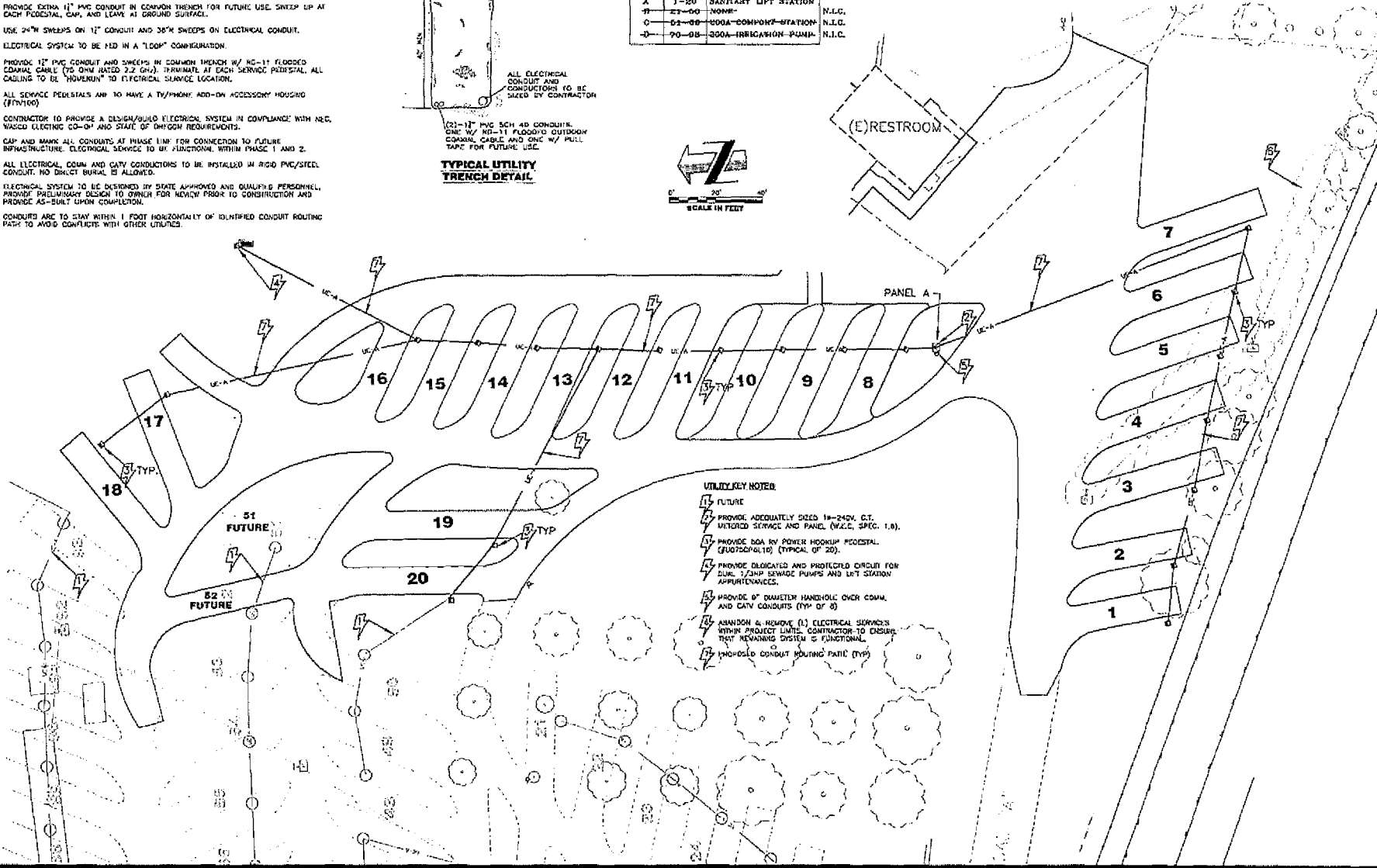
- NOTES:**
1. ALL SURVEY DATA PROVIDED BY WASCO COUNTY PUBLIC WORKS.
 2. ENGINEER DOES NOT WARRANT ACCURACY, LOCATION, SIZE, DEPTH, TYPE OR EXISTENCE OF UTILITIES, FACILITIES OR ANY OTHER EXISTING SUI GENERIS.
 3. OWNER TO WORK WITH WASCO ELECTRIC CO-OP (W.E.C.O.) ON INSTALLING SERVICE TO THE 18"-24" O.D. METERED SERVICE, CO-LocATING UTILITY CONDUIT WHERE POSSIBLE.
 4. LIGHTED BY SIGNAGE PEDESTAL AND TV/PHONE ACCESSORIES ARE LOWEST ELECTRIC PRODUCTS, INC. OR APPROVED EQUAL.
 5. PROVIDE EXTRA 1/2" PVC CONDUIT IN COMMON TRENCH FOR FUTURE USE, SNEEP UP AT EACH PEDESTAL, CAP, AND LEAVE AT GROUND SURFACE.
 6. USE 24" SWEEPS ON 1" CONDUIT AND 36" SWEEPS ON ELECTRICAL CONDUIT.
 7. ELECTRICAL SYSTEM TO BE FED IN A "LOOP" CONFIGURATION.
 8. PROVIDE EXTRA 1/2" PVC CONDUIT AND SWEEPS IN COMMON TRENCH W/ 1/2"-1" FLOODED COAXIAL CABLE (75 OHM RATED 2.2 GHz), TERMINATE AT EACH SERVICE PEDESTAL, ALL CABLES TO BE "HOVERMAN" TO ELECTRICAL SERVICE LOCATION.
 9. ALL SERVICE PEDESTALS ARE TO HAVE A TV/PHONE ADD-ON ACCESSORY HOUSING (FF17160).
 10. CONTRACTOR TO PROVIDE A DESIGN/BUILD ELECTRICAL SYSTEM IN COMPLIANCE WITH NEC, WASCO ELECTRIC CO-OP AND STATE OF OREGON REQUIREMENTS.
 11. CAP AND MARK ALL CONDUITS AT PHASE LINE FOR CONNECTION TO FUTURE INFRASTRUCTURE. ELECTRICAL SERVICE TO BE FUNCTIONAL WITHIN PHASE 1 AND 2.
 12. ALL ELECTRICAL CONDUIT AND CATV CONDUITS TO BE INSTALLED IN RIGID PVC/STEEL CONDUIT. NO DIRECT BURIAL IS ALLOWED.
 13. ELECTRICAL SYSTEM TO BE DESIGNED BY STATE APPROVED AND QUALIFIED PERSONNEL. PROVIDE PRELIMINARY DESIGN TO OWNER FOR REVIEW PRIOR TO CONSTRUCTION AND PROVIDE AS-BUILT UPON COMPLETION.
 14. CONDUITS ARE TO STAY WITHIN 1 FOOT HORIZONTALLY OF IDENTIFIED CONDUIT ROUTING PATHS TO AVOID CONFLICTS WITH OTHER UTILITIES.



PANEL TABLE:

PANEL	SPACES	DEDICATED LOADS
A	1-20	SANITARY LIFT STATION
B	21-30	NONE
C	31-36	COGA-COMPOST-STATION
D	37-38	COGA-IRRIGATION-PUMP

N.L.C.
N.L.C.
N.L.C.



- UTILITY NOTES:**
- 1. FUTURE
 - 2. PROVIDE ADEQUATELY SIZED 18"-24" O.D. METERED SERVICE AND PANEL (W.E.C. SPEC. 1.8).
 - 3. PROVIDE SDA BY POWER HOODING PEDESTAL (R0725/0410) (TYPICAL OF 20).
 - 4. PROVIDE DEDICATED AND PROTECTED CIRCUIT FOR DUAL 1/2"HP SEWAGE PUMPS AND LIFT STATION APPURTENANCES.
 - 5. PROVIDE 6" DIAMETER HANDHOLE OVER COMM. AND CATV CONDUITS (TYP OF 8).
 - 6. ABANDON & REMOVE (1) ELECTRICAL SERVICES WITHIN PROJECT LIMITS. CONTRACTOR TO ENSURE THAT REMAINING SYSTEM IS FUNCTIONAL.
 - 7. UNCHANGED CONDUIT ROUTING PATHS (TYP)

Drawn By	Checked By	Date
WASCO COUNTY PUBLIC WORKS	WASCO COUNTY PUBLIC WORKS	10/24/2011
DESIGNED BY	DATE	SCALE
T.E.C.	10/24/2011	AS SHOWN

**UTILITY DISTRIBUTION PLAN
WASCO COUNTY
HUNT PARK
REDEVELOPMENT PROJECT**

TENWISON ENGINEERING CORP.
CONSULTING ENGINEERS
3313 W. 240 STREET, SUITE 100
THE DALLES, OREGON 97038
PH: 541-268-9177 FAX: 541-298-6557
WWW.TENWISONENGINEERING.COM

FOR REVIEW AND BIDDING ONLY



POTABLE KEY NOTES:

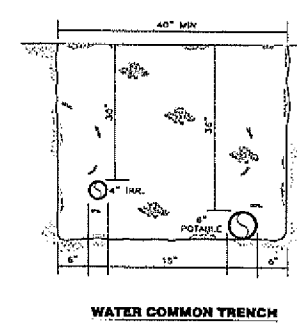
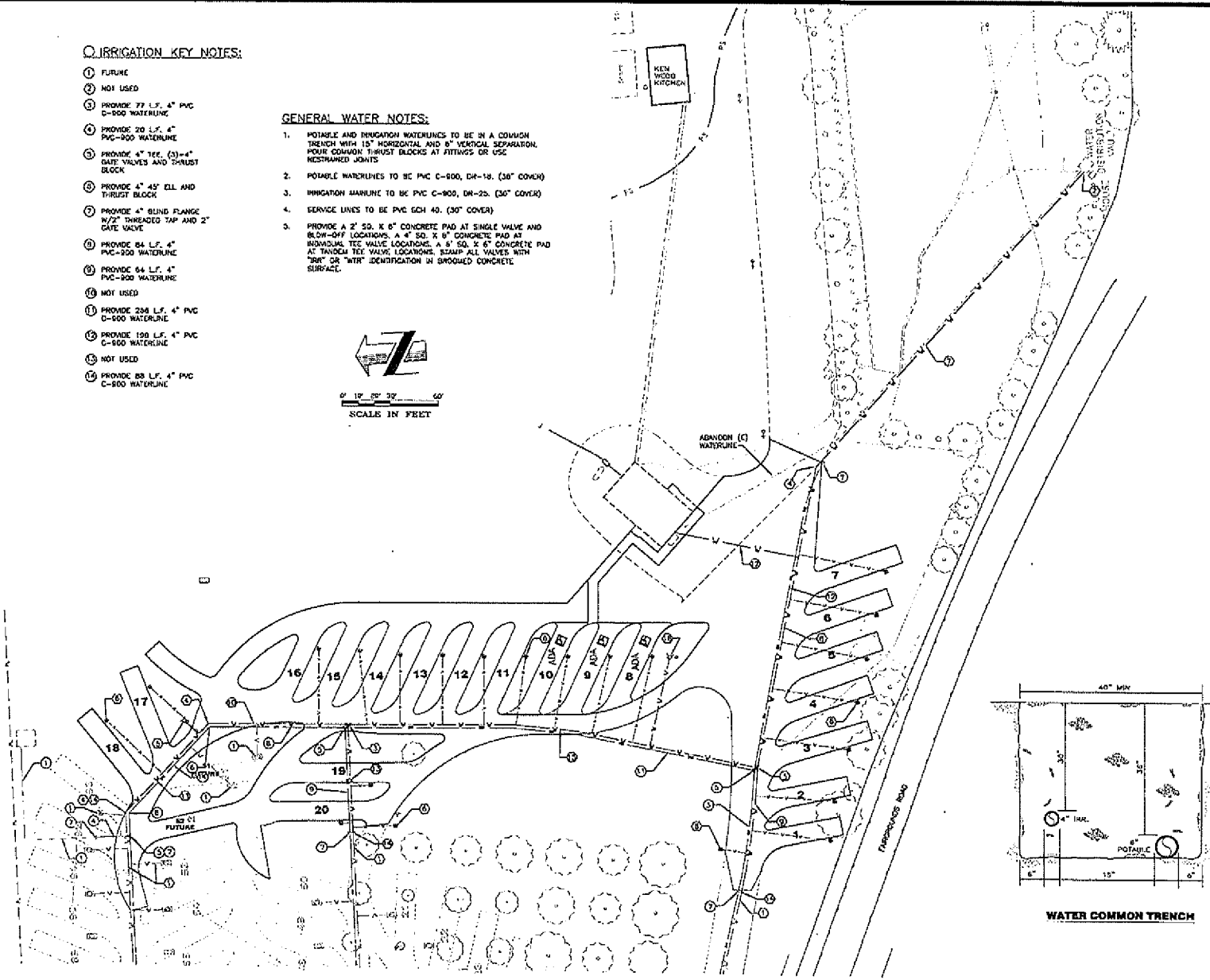
- 1 FUTURE
- 2 CONNECT TO EXISTING 2" WATERLINE AND PROVIDE 6" GATE VALVE
- 3 PROVIDE 6" TEL (3)-6" GATE VALVES AND THRUST BLOCK
- 4 PROVIDE 6" 45° ELL AND THRUST BLOCK
- 5 PROVIDE FLUSHING HYDRANT ASSEMBLY AND 8 LF. 6" PVC C-900 WATERLINE
- 6 PROVIDE WATER SERVICE (TYP OF 22) (TOTAL 948 LF. 2" SERVICE LINES)
- 7 PROVIDE 251 LF. 6" PVC C-900 WATERLINE
- 8 PROVIDE 192 LF. PVC C-900 WATERLINE
- 9 PROVIDE 81 LF. PVC C-900 WATERLINE
- 10 PROVIDE 88 LF. PVC C-900 WATERLINE
- 11 PROVIDE 77 LF. 6" PVC C-900 WATERLINE
- 12 PROVIDE 2" PVC WATER SERVICE (50 LF.) CONNECT TO EXISTING BUILDING
- 13 PROVIDE 67 LF. 6" PVC C-900 WATERLINE
- 14 PROVIDE 2" BLOW-OFF ASSEMBLY
- 15 PROVIDE 280 LF. 6" PVC C-900 WATERLINE
- 16 PROVIDE FLUSHING HYDRANT ASSEMBLY AND 20 LF. 6" PVC C-900 WATERLINE

IRRIGATION KEY NOTES:

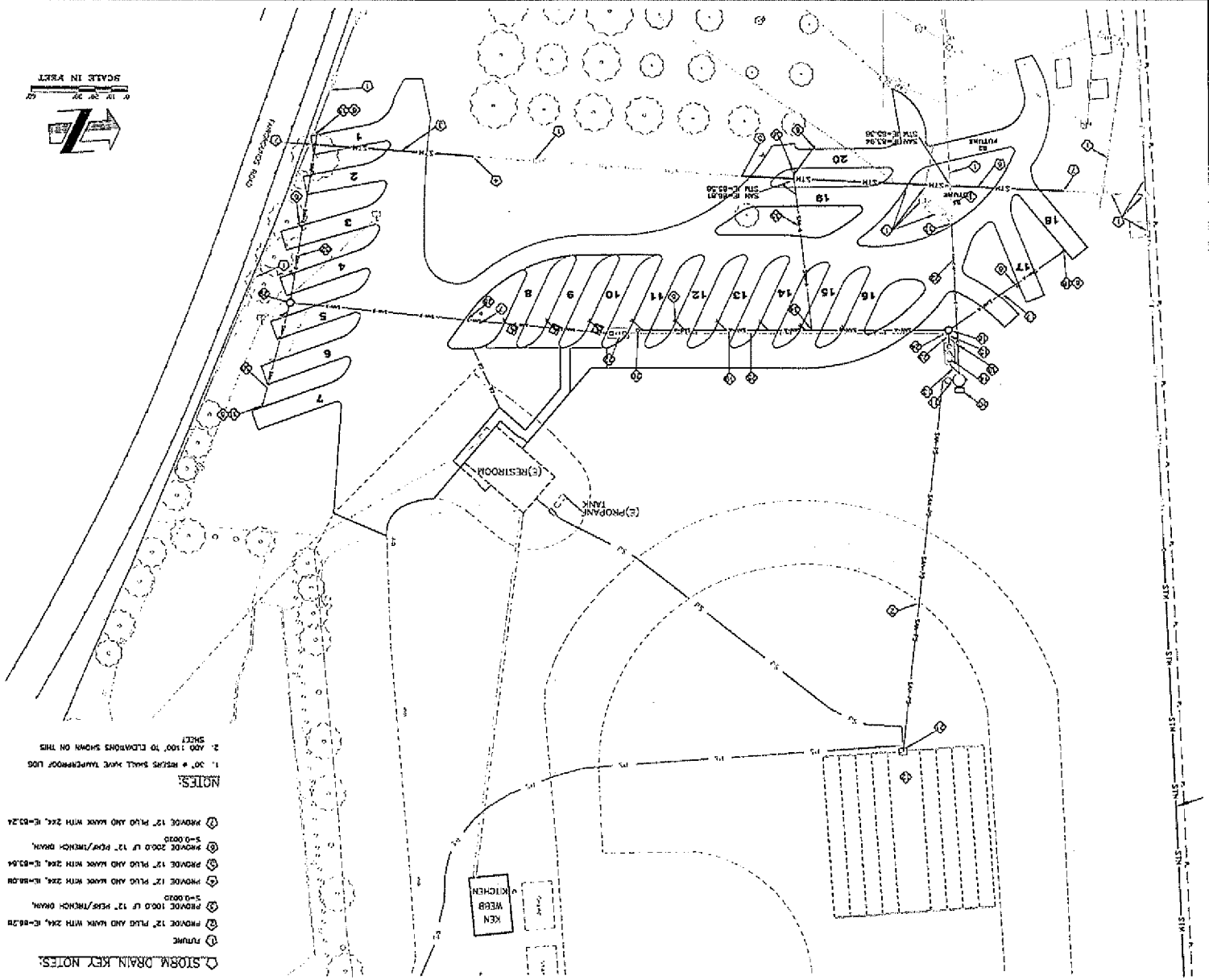
- 1 FUTURE
- 2 NOT USED
- 3 PROVIDE 77 LF. 4" PVC C-900 WATERLINE
- 4 PROVIDE 20 LF. 4" PVC-900 WATERLINE
- 5 PROVIDE 4" TEL (3)-4" GATE VALVES AND THRUST BLOCK
- 6 PROVIDE 4" 45° ELL AND THRUST BLOCK
- 7 PROVIDE 4" BLIND FLANGE 1/2" THREADED TAP AND 2" GATE VALVE
- 8 PROVIDE 84 LF. 4" PVC-900 WATERLINE
- 9 PROVIDE 64 LF. 4" PVC-900 WATERLINE
- 10 NOT USED
- 11 PROVIDE 238 LF. 4" PVC C-900 WATERLINE
- 12 PROVIDE 130 LF. 4" PVC C-900 WATERLINE
- 13 NOT USED
- 14 PROVIDE 88 LF. 4" PVC C-900 WATERLINE

GENERAL WATER NOTES:

1. POTABLE AND IRRIGATION WATERLINES TO BE IN A COMMON TRENCH WITH 15" HORIZONTAL AND 8" VERTICAL SEPARATION. POUR COMMON THRUST BLOCKS AT FITTINGS OR USE RESTRAINED JOINTS
2. POTABLE WATERLINES TO BE PVC C-900, DN-18. (36" COVER)
3. IRRIGATION WATERLINES TO BE PVC C-900, DN-25. (30" COVER)
4. SERVICE LINES TO BE PVC SCH 40. (30" COVER)
5. PROVIDE A 2' 50. X 6" CONCRETE PAD AT SINGLE VALVE AND BLOW-OFF LOCATIONS. A 4' 50. X 6" CONCRETE PAD AT MINIMUM TEE VALVE LOCATIONS. A 6' 50. X 6" CONCRETE PAD AT TANDEM TEE VALVE LOCATIONS. STAMP ALL VALVES WITH "P" OR "I" IDENTIFICATION IN SMOOTHED CONCRETE SURFACE.



WATER & IRRIGATION SYSTEMS	FOR	WASCO COUNTY	FOR	SHOWN
HUNT PARK REDEVELOPMENT PROJECT				
<small>TRICK VALLEY, OREGON</small>				
TENNISON ENGINEERING CORP.				
<small>CONSULTING ENGINEERS</small>				
<small>3313 W. 2ND STREET, SUITE 100</small>				
<small>THE DALLES, OREGON 97038</small>				
<small>PH. 541-296-8177 FAX 541-296-8657</small>				
<small>FOR INFO: 503-621-4300/503-621-1113</small>				
FOR REVIEW AND BIDDING ONLY				
<small>AS SHOWN ON THIS SHEET DOES NOT CONSTITUTE AN OFFER OF CONTRACT</small>				
WATER/IRR				
SHEET 10 16				
<small>Work Order No. 13151</small>				



- KEY NOTES:**
- ① RUMBLE
 - ② PROVIDE 23.5 LF 3" S¹ S¹ 50K 40 PPG ON HOLE
 - ③ PROVIDE 100.0 LF 17" H¹SE¹ TRENCH DRAIN
 - ④ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.00
 - ⑤ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.54
 - ⑥ PROVIDE 200.0 LF 12" P¹PE¹ TRENCH DRAIN
 - ⑦ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ⑧ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
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 - ⑯ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ⑰ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ⑱ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ⑲ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ⑳ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉑ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉒ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉓ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉔ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉕ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉖ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉗ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉘ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉙ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉚ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉛ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉜ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉝ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉞ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㉟ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊱ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊲ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊳ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊴ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊵ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊶ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊷ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊸ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊹ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊺ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊻ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊼ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊽ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊾ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24
 - ㊿ PROVIDE 12" PLUG AND MAKE WITH 2X4, I=83.24



WORK ORDER NO. **11 16** SHEET **11**

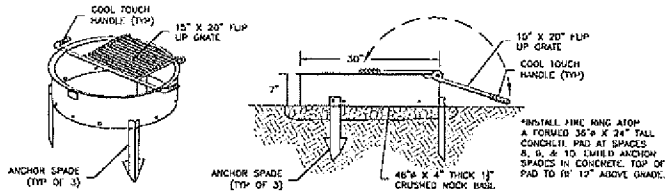
SAN SEWER

FOR REVIEW AND BIDDING ONLY

JENKINSON ENGINEERING CORP.
CONSULTING ENGINEERS
3313 W. 2ND STREET, SUITE 100
THE DALES, OREGON 97088
PH. 541-298-9177 FAX 541-298-8557

SANITARY SEWER PLAN FOR WASCO COUNTY HUNT PARK REDEVELOPMENT PROJECT

DATE	BY	SCALE
10/24/2011	T.E.C.	AS SHOWN



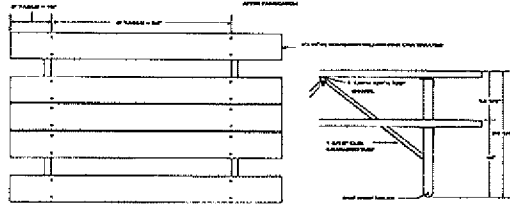
*FORMED FIRE RING ATOP A FORMED 36\"/>

TYPICAL FIRE RING DETAIL

SCALE: NONE

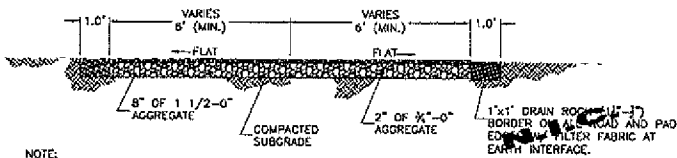
MODEL #12PT-118
 8' Shenandoah Picnic Table with
 Wood Plank Top and Benches
 As mfg. by Pa'k n Pool
 Or approved equal

NOTE: AT SPACES 8, 9, & 10, REPLACE THE TABLE TOP PLANKS WITH 1\"/>



TYPICAL PICNIC TABLE DETAIL

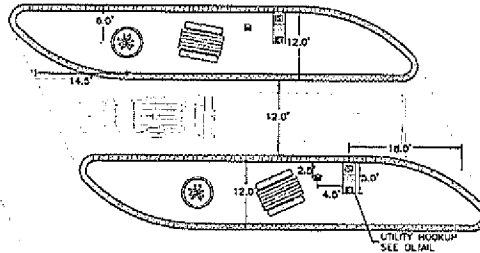
SCALE: NONE



NOTE: FINISH GRADE TO BE ESTABLISHED BY CONTRACTOR AND APPROVED BY OWNER.

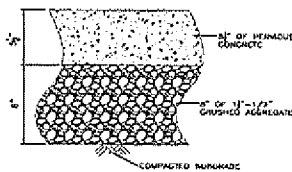
TYPICAL ROADWAY & STAND SECTION

SCALE: NONE



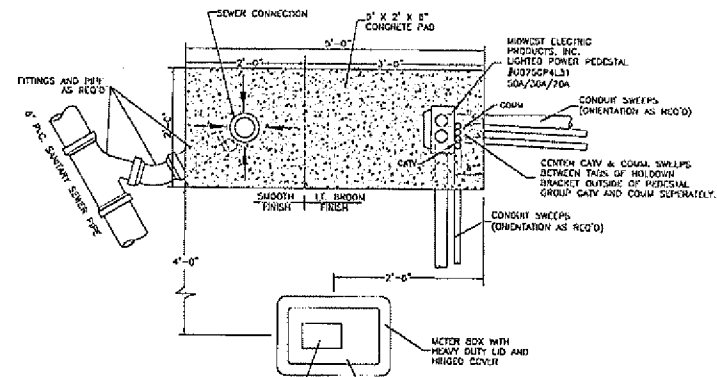
NOTE: ADA SPACES (8, 9 & 10) TO HAVE PERVIOUS CONCRETE SURFACING IN-LIEU OF LANDSCAPING AND DRAIN ROCK. PERVIOUS CONCRETE TO BE FLUSH WITH FUTURE AG PAVING ROADWAY SURFACING. CRUSHED ROCK SHALL RAMP TO SIDEWALK AND DRIVE ASLES. NO SLOPES ON PERVIOUS CONCRETE GREATER THAN 2% ARE ALLOWED IN ANY DIRECTION.

TYPICAL STAND DETAIL



PERVIOUS CONCRETE DETAIL

SCALE: NONE



UTILITY PLAN VIEW

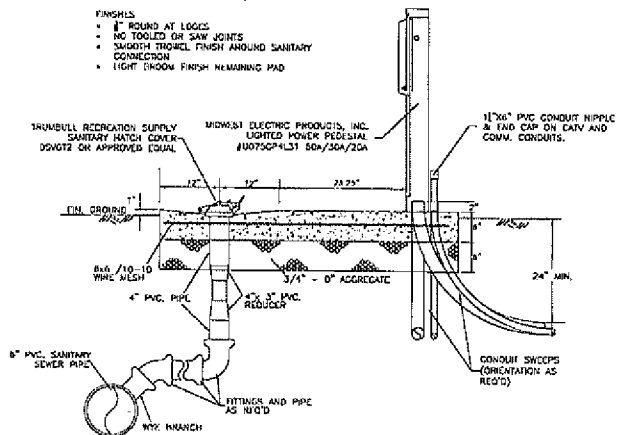
NO SCALE

NOTES

CONCRETE
 - 3300 PSI NON-POROUS w/5% AIR ENTRAINMENT

FINISHES

- 1\"/>



UTILITY CONNECTION PAD SECTION

NO SCALE

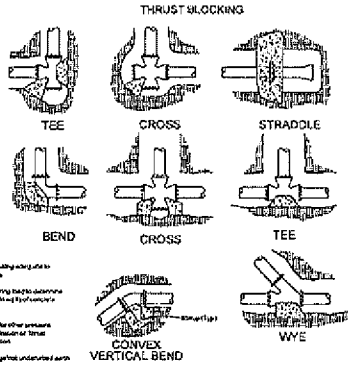
Project No. WASCO COUNTY DEVELOPMENT
 Date 10/24/2011
 Project Name HUNT PARK REDEVELOPMENT PROJECT
 Scale 1:31.5
 T.E.C.

TENNESSEE ENGINEERING CORP.
 CONSULTING ENGINEERS
 3313 W. 2ND STREET, SUITE 100
 P.O. BOX 97088
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 E-MAIL: info@tenneng.com

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 10/24/2011
 13.16

DETAILS
 SHEET
13 16
 Work Order No. 13151

CONCRETE THRUST BLOCKING (CONCRETE)		CONCRETE BLOCKING FOR CONVEYER BELT (CONCRETE)	
Block Type	Block Size (inches)	Block Type	Block Size (inches)
TEE	12" x 12" x 12"	TEE	12" x 12" x 12"
CROSS	12" x 12" x 12"	CROSS	12" x 12" x 12"
STRADDLE	12" x 12" x 12"	STRADDLE	12" x 12" x 12"
BEND	12" x 12" x 12"	BEND	12" x 12" x 12"
CONVEX VERTICAL BEND	12" x 12" x 12"	CONVEX VERTICAL BEND	12" x 12" x 12"
WYE	12" x 12" x 12"	WYE	12" x 12" x 12"



DETERMINATION OF THRUST BLOCK BEARING AREA

NOTE: WHICH THRUST BLOCK BEARING AREA IS NOT SPECIFIED FROM THE PLAN OR DETERMINED BY THE DESIGNER, USE THE FOLLOWING PROCEDURE TO DETERMINE THE BEARING AREA.

1. Determine the (T) for type of flow and use of pipe from Table.
2. Determine the (P) from Table.
3. Determine the (A) from Table.
4. Determine the (B) from Table.

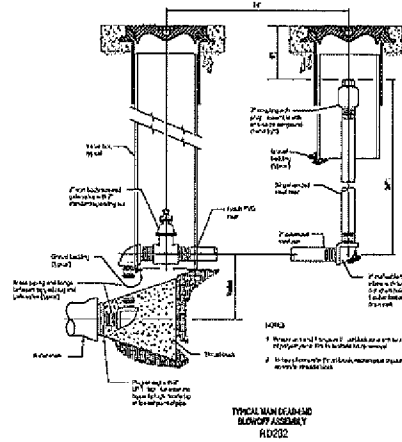
Formula: $A = \frac{T \times P}{B}$

NOTES

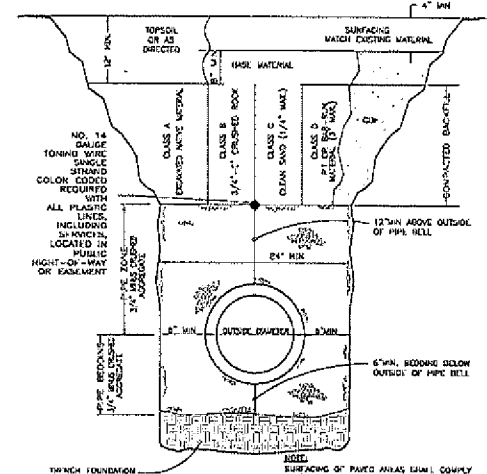
1. Contributor to provide thrust blocking as to structural load pressure.
2. Block shall be cast in place concrete.
3. All concrete to be cast in place.
4. All concrete to be cast in place.
5. All concrete to be cast in place.
6. All concrete to be cast in place.
7. All concrete to be cast in place.
8. All concrete to be cast in place.

THRUST BLOCKING

RD202 (7/9)

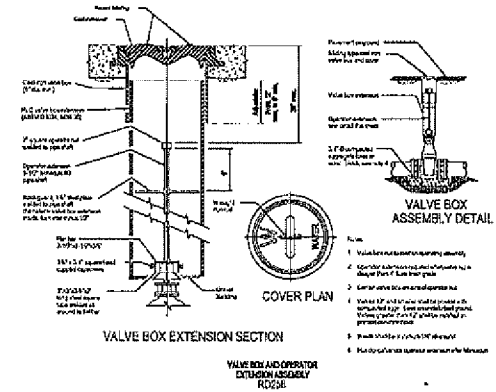


TYPICAL THRUST BLOCK ASSEMBLY



TRENCH DETAIL

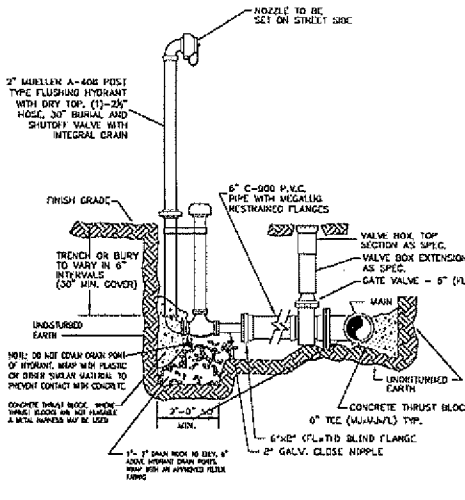
10-301



VALVE BOX EXTENSION SECTION

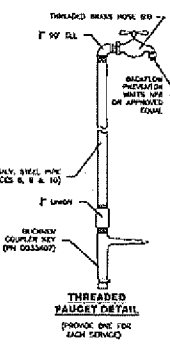
VALVE BOX AND OPERATOR EXTENSION ASSEMBLY

RD202



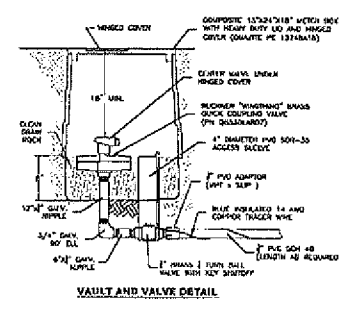
FLUSHING HYDRANT & GATE VALVE ASSEMBLY

4-3 (7/90)



THREADED FAUCET DETAIL

PROVIDE ONE FOR EACH SERVICE



VAULT AND VALVE DETAIL

TYPICAL WATER SERVICE DETAIL

DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 10/24/2011
 PROJECT: HUNT PARK REDEVELOPMENT PROJECT
 SHEET: 15 OF 16
 TOWN: WASCOCO COUNTY, OREGON

WATERLINE DETAILS
WASCOCO COUNTY
HUNT PARK
REDEVELOPMENT PROJECT

TENNESON ENGINEERING Corp.
 CONSULTING ENGINEERS
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REGISTERED PROFESSIONAL ENGINEER
 OREGON
 LICENSE NO. 31,430

DATE: 10/24/2011

DETAILS
 SHEET
15 16
 Work Order No. 13151

